



An exclusive country-estate development
with breathtaking mountain views

Architectural Design Guidelines

December 15, 2025

Architectural Design Guidelines for The Heights on Escarpment Hill

The Heights Architectural Design Guidelines (“Guidelines”) were created to promote a cohesive vision for the development, ensuring lasting quality and investment value for current and future residents. These Guidelines will ensure all homes are built to high standards while promoting diverse country-estate styles, fostering distinctiveness and charm. Exceptional architecture and build quality will define The Heights.

By regulating specific architectural and landscape components, the Guidelines will preserve the natural landform, expansive views, and drainage courses while also maintaining the rural charm of the majestic Springbank setting. They provide comprehensive standards for all housing within the development.

Each house plan will be carefully reviewed and approved by the Architectural Coordinator (“AC”) from Manhattan Developments & Design Inc. Compliance with the guidelines will be documented on an architectural approval form, accompanying the building permit application to the County of Rocky View.

These guidelines will be registered as a Restrictive Covenant on each building site, remaining with the land permanently and enforceable against all future owners.

I. Purpose

The following design standards shall form the design guidelines for The Heights. In addition to these Guidelines, the appropriate land use guidelines included in the land use Bylaw C-8000-2020 shall apply. All site development shall conform with these standards. Any development which does not conform with these guidelines shall require prior approval by a separate development permit or will be subject to remediation and removal at the sole expense of the lot owner.

II. Approval Process

- a) Builders are required to obtain approval for the site plan and architectural design from the Developer before submitting a building permit application.
- b) The building permit application to the County of Rocky View, must be accompanied by a completed and signed copy of the architectural coordination approval form.

III. Design Guidelines

As per attached Architectural Design Guidelines for The Heights on Escarpment Hill.

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1. Introduction

Nestled upon the slopes of Escarpment Hill in Springbank, also known as West Bluff, The Heights offers unparalleled views of the Elbow Valley and the majestic Rocky Mountains. Renowned for its idyllic natural environment and expansive country-estate building sites, this neighborhood is conveniently situated just a short 20-minute drive from downtown Calgary and a mere 3 minutes from the ring-road, making it a highly accessible and coveted locale within Springbank.

This setting presents a unique opportunity to craft a premium community that seamlessly integrates with its surroundings. These Development Guidelines prioritize the balance of natural elements with architectural designs, ensuring a harmonious coexistence with the environment.

By adhering to these guidelines, builders and future residents will collaborate to create a well-integrated community. These Guidelines seek to strike a delicate balance between the built environment and nature, incorporating shared landscape features throughout the neighborhood while allowing for artistic expression and innovative building designs.

As the developers and stewards of The Heights, we are excited by this endeavor and confident that our passion will be shared by builders and residents alike. Together, we embark on a journey to cultivate a distinguished community that safeguards investments and instills pride in all who call The Heights their home.

2. Architectural Design Guidelines

2.1 Architectural Theme

The Developer aims to create a balanced mix of classic and modern architectural styles. Since the building sites are large, different styles may be approved, but each proposal must include an Architectural Rationale document. This document should explain the chosen style in one page and include a sheet with illustrations showing all sides of the building and its architectural features. No two buildings on the same street can look too similar.

For buildings with the same wall colour and material, there should be at least four lots between them. Second-story structures should be set back and blend well with the roof design. Ideally, garage doors should face sideways to match the main home's design. The design of the homes should be varied yet consistent with their respective styles, creating a cohesive look on the street. The use of materials, proportions, and colours should create a harmonious design across the development. You can find examples of acceptable building styles in Appendix A.

2.2 Introduction

The architectural theme emphasizes harmony with the natural environment. This will ensure that the shapes, materials, and colours of the buildings complement and resonate with their surroundings.

During construction, care will be taken to preserve the inherent features of the land, including its natural contours and drainage courses. Additionally, the design of the residences will be tailored to gracefully adapt to the land's slopes.

Architectural plans will align with the natural inclinations of the terrain, ensuring that multi-level homes seamlessly merge with the land's undulations and contours. This includes incorporating tiered or staggered elements at the rear of the properties, avoiding the appearance of flat, tall walls and enhancing visual harmony from various perspectives, including views from adjacent streets.

Furthermore, the layout of roads within The Heights will be thoughtfully crafted to minimize extensive earthwork, preserving the land's natural topography. This approach not only conserves the land but also optimizes views and sunlight exposure for the entire community.

2.3 Building Form and Proportions

The architectural vision for the residences encompasses their internal form, function and external mass and proportions. They should be crafted to seamlessly merge with the sloped terrain and attempt to honour the views for all residents and neighbours, wherever possible.

Each plot's unique dimensions and contours play a pivotal role in shaping the building's form. Strategic placement is paramount, taking into account neighboring structures, land slopes, vegetation, and scenic vistas.

Buildings are envisioned to harmonize with, rather than overshadow, the natural surroundings—striking a balance in size. Their design should enhance the scenic beauty of the landscape and be aesthetically appealing from every perspective.

Consistency in scale and design among neighboring homes is encouraged, irrespective of differences in elevation or height.

Maintaining proportionality is essential for a cohesive and visually pleasing design, ensuring coherence between building elements and the site. Windows should feature metal-clad or wooden frames with suitable finishes, while doors should be elegantly crafted from natural woods or comparable composites. Vinyl windows are not permitted on the front elevation and should be designed to closely match the front elevation when selected for other elevations.

The overall size of the house should feel harmonious with its surroundings, avoiding a sense of overcrowding or dominance. Each aspect, from the primary structure to intricate details, should maintain a sense of proportionality. Roof designs should correspond with wall compositions, and wall openings should complement the surface area effectively.

2.4 Roofs and Roof Details

The roof plays a significant role in the home's aesthetics and requires careful planning. Its slope and configuration greatly contribute to the overall architectural appeal.

Approved roofing materials include slate, flat concrete or clay tiles, and architectural asphalt and fiberglass shingles. Emphasizing ridge capping is required, particularly for asphalt roofs. Prohibited materials are 3-tab shingles and pine shakes; any other options require approval from the Architectural Coordinator to ensure coherence with the overall design. All metal flashing, including for valleys and vents, should match the roof's colour scheme.

Skylights must have a flat profile and remain inconspicuous from the street, avoiding domed or vaulted styles. Trim boards are necessary at roof-wall intersections, except where stone is utilized. While features like dormers, overhangs, and chimneys can enhance the roof's aesthetics, they should seamlessly integrate with the design.

Soffit overhangs should measure at least 12 inches, complemented by a fascia board of no less than 8 inches. Maintenance-free materials like vinyl or aluminum are suitable for soffits and fascias, except for exposed gable ends, which should be crafted from wood or a suitable “smart-board”. Hidden gutters, if utilized should be concealed behind a substantial fascia.

2.5 Chimneys and Direct Vents

Chimneys and vents should complement the overall design of the house, aiming for a subtle and integrated appearance. Chimneys should be capped to conceal any exposed metal parts at their tops. It's acceptable to use metal flashing and vents that extend straight out from the wall, but they should not be visible from the street, ideally positioning them on the rear facade. The positioning of these features should be clearly indicated on the house plans.

If the exterior of the house features brick or stone, the chimney should be clad in the same material for consistency. Chimneys located on exterior walls should have a substantial base, measuring at least 12 square feet. Cantilevers, protruding parts of the chimney from the wall, are not permitted on any visible side of the house, including the front, sides, and rear, unless they extend directly to the ground.

For fireplaces with chimneys extending more than one floor, the chimney support structure, known as the chase, must also extend all the way to the ground, ensuring stability and visual cohesion..

2.6 Construction Details

The meticulous detailing of each residence will elevate its visual appeal and imbue it with a sense of uniqueness, charm and elegance. The following will help achieve this:

- **Entry Features:** Entryways will complement the overall style and scale of the home, maintaining a balanced proportion with the street and façade. The primary entrance will be prominently situated, facing the street or readily visible from it. Double front doors require prior approval, as do non-street-facing entrances. Wooden or composite materials are preferred for the front door, with exceptions granted upon specific approval. Porch roofs will boast wood or composite soffits for a cohesive aesthetic.
- **Inviting Approach:** Entry steps will be thoughtfully designed, with a maximum of four consecutive risers to ensure a gentle ascent from the ground.
- **Visually Appealing Proportions:** Upper floors will be strategically designed to be slightly smaller than the ground floor, fostering a visually intriguing silhouette and avoiding an overly imposing presence. On corner lots, upper floors will gracefully step back from both street sides for a more balanced appearance. Designs featuring upper floors equal to or exceeding the ground floor in size will require approval from the Architectural Coordinator, and may be rejected.
- **Unique Identity:** To cultivate a sense of individuality and street-scape variety, identical designs will be prohibited on building fronts and backs. Variations in colours are also encouraged to avoid repetitiveness.
- **Corner Lot Harmony:** Corner lots will be thoughtfully designed to ensure that both street-facing elevations receive equal attention in terms of size, material selection, and window/door placement.

- **Garage Considerations:** Side car garages are encouraged and the street facing elevation should be consistent with the balance of the front elevation. When an upper floor sits above a garage with a side-drive, it will be set back 15 meters from the front property line and 1 meter from the garage's interior wall for a balanced aesthetic.
- **Cohesive Material Selection:** Any garden sheds or accessory buildings will integrate with the main house by utilizing matching materials.
- **Discreet Utilities:** Electrical meters, gas meters and external appliances such as air conditioning units will be thoughtfully concealed, employing recessed or hidden placements.
- **Sturdy Support:** Wood posts will be substantial, measuring at least 8 x 8 inches, and constructed of either solid wood or built-up composite materials.
- **Vehicles:** To preserve the visual character of the neighborhood, parking of trailers, boats, snowmobiles, recreational, or commercial vehicles in the front yard is prohibited. Permitted storage in rear or side yards must be screened with fencing or landscaping elements for a discrete appearance.
- **Natural Colour Palette:** Naturally inspired, neutral colours are preferred for main colours. Brighter colours can be used sparingly for accents and trim, but should also reflect natural elements. Pastel colours (pink, salmon, peach) and bright white as a primary colour are not allowed.
- **Brick, Stone & Mortar:** Brick and stone colours should complement the main colour, with mortar chosen to enhance the stone/brick.
- **Architectural Review Required:** The Architectural Coordinator must approve the overall colour scheme by way of submitting a colored elevation showing material colours and a final primary colour and stone colour sample board.

2.7 General Compliance and Future Subdivision Constraints

No current or future lot owner within The Heights development shall further subdivide, divide, or partition their Lot into parcels or lots of less than two (2) acres in size, regardless of Rocky View County zoning, subdivision policy, or approval processes. Any attempt to subdivide a lot into parcels smaller than two (2) acres shall be null and void and of no force or effect. This restriction shall run with the land and be binding upon all present and future owners, their heirs, successors, and assigns, and may be enforced by the Home Owners Association or the Developer through appropriate legal proceedings, including injunctive relief.

All building and site plans must undergo thorough assessment by the Architectural Coordinator, who will evaluate them based on these Guidelines. The Architectural Coordinator has the authority to interpret modifications in home designs, plot layouts, elevations, grades, and landscaping plans submitted for approval.

Under certain circumstances, the Coordinator may grant exceptions to these guidelines if there's a valid reason that suits a specific home or site. However, adherence to these guidelines does not exempt individuals from complying with the legal stipulations of the County of Rocky View or the province of Alberta.

Following plan approval, construction should commence within six (6) months to avoid expiration of the approval. Exterior construction must be completed within eighteen (18) months thereafter. The final design must satisfy the Developer's standards, irrespective of specific criteria.

All building or improvement projects must achieve full exterior completion before the dwelling's first occupancy, in accordance with municipal regulations and approved plans.

Domesticated household pets are the only animals permitted for owners and residents, and they must be controlled to prevent disturbances within the subdivision. No other animals are allowed, and they must be kept under control within the development premises.

2.8 Garages and Driveways

Garages are best designed to complement rather than overshadow the main house. While front-facing garages are acceptable, a side-facing orientation is preferred, especially if they feature windows that harmonize with the house's facade along the street. The driveway leading to side-facing garages should be at least 6.7m (22 feet) wide, excluding the required side yard space.

Ideally, garages should be at or above grade, unless the terrain naturally slopes up or down from the street. In such cases, an under-house garage may be acceptable.

All garages should be a combined minimum of triple car width and fully enclosed. Variations in garage door depths are encouraged for added visual interest. Future modifications to garage door styles require written approval. Any detached garages or accessory buildings need prior written approval from the Developer before construction. Front-facing garages can include tandem or stacked designs to accommodate multiple vehicles.

Additional space above garage doors, exceeding 2ft (24 inches), should be incorporated as an architectural feature that complements the overall design of the house. Larger garages facing the street in a single flat plane are not permitted. Garage doors should complement the house's style and be crafted from premium materials. Identical garage doors on neighboring houses are not allowed. The colour of the garage doors should harmonize with the entry door, trim, or other elements of the house. Contemporary aluminum and glass doors may be considered by the Architectural Coordinator if they align with the home's aesthetic.



Above garage door detail, when space exceeds 24"

2.9 Driveways & Culverts

The driveway significantly influences the overall appearance of the streetscape. Ensure house plans include detailed information about the driveway, particularly where it meets the approach. To enhance the street's visual appeal and harmonize with the landscaping, it's encouraged to landscape and conceal the culvert surrounding so it complements the driveway material and other landscape features.

Driveways should integrate with the architectural style of your home and the broader aesthetic of the area. Materials such as asphalt, paving stones, or concrete are suitable choices. For concrete driveways, consider an exposed aggregate or lightly sandblasted smooth finish for added elegance. Each driveway and culvert design will undergo individual assessment and approval based on its compatibility with the surroundings. Approval of one design doesn't set a precedent for others to be approved in the same manner.

In cases of sloping terrain, incorporate a gentle curve at the top and bottom of your driveway instead of a straight incline.

While the maximum allowable grade for driveways is 8%, it's preferable to aim for slopes between 2% and 5% for better usability and aesthetics.

2.10 Exterior Materials

Exterior materials should be natural stone, brick, acrylic (smooth) stucco, cedar, hardboard, and/or Hardie plank, with proper detailing. Brick or stonework should be neutral and evenly toned. Continuous brick or stone facing is preferred on the front and should wrap around the side of the house, at the same height, for a minimum of 4ft into the new elevation. Stone or brick used for architectural emphasis or to simulate structural massing must extend fully to grade on all elevations where it is applied. The use of "floating" stone panels, partial-height stone elements, or stone that terminates above grade will not be permitted. Stone must visually anchor the structure and present as a genuine load-bearing material wherever used.

Lightly textured acrylic stucco is encouraged, but heavily textured stucco will not be permitted. Vinyl siding is also not allowed. Neutral earth-tones are encouraged while pastels and predominantly bright white palettes will be discouraged.

Cultured stone is strongly discouraged and may be refused at the discretion of the Architectural Coordinator.

Although a specified minimum application of stone or brick is not prescribed as part of these Design Guidelines, the Architectural Coordinator reserves the right to mandate a minimum usage of stone or brick if deemed necessary from an aesthetic, architectural theme, or building proportion perspective.

2.11 Windows and Bays

Windows play a key role in home design, and their placement and style should be outlined in the Architectural Style Rationale. All windows are required to have exterior metal cladding, and if they are not surrounded by stone, they should feature a minimum 3-inch surrounding batten.

For the front facade of the house, all windows should be of a 'casement' style, whether they are operable or fixed, to ensure a cohesive look. External simulated lites and mullions can be used instead of multiple window units, but internal bars are not permitted unless they are externally covered by corresponding simulated lites.

On the main floor, bays or cantilevers should not visibly protrude and must extend to the ground level. Upper floor bays that do not reach the ground should be positioned above a roof. Bays are expected to extend at least 0.45 meters (18 inches) from the main wall of the building.



Minimum batten requirements of 3"

2.12 Decks, Porches, Balconies and Patios

Decks and patios should integrate with your home's overall design and respect your neighbors' privacy. Oversized decks that disrupt privacy or are disproportionate to the house size will not be approved. They must comply with the setback regulations of these Design Guidelines and those of the County of Rocky View.

Rear decks should match your home's exterior, avoiding unfinished wood. On walk-out lots, decks require sturdy columns or piers (8" minimum) and railings that adhere to these Guidelines.

Well-designed front porches should cover at least 50 square feet with a flat or hipped roof and a beam above the columns on all sides. They should use materials that match your driveway and front elevations, and any steps should complement your home's masonry.

Guardrails on porches less than 2 feet above the ground can also function as sitting walls at specific heights and depths, following Alberta Building Code standards.

2.13 Mechanical Hardware – Air Conditioning Units and Satellites

No television or radio ariels/antennas are allowed. Small satellite dishes (18 inches or less) can be attached to the house if they are hidden from the street. Central air conditioning units and other mechanical equipment must be placed out of sight from the lane and screened to minimize impact on neighbors, as approved by the Architectural Coordinator.

3. Site Planning & Design Guidelines

3.1 Site Planning Principles & Fire Regulations

When designing your home, the first key decision is where to place it on the lot. The home should fit the lot's shape and features, blending with the natural landscape and drainage patterns while meeting the homeowner's needs.

The placement of each home affects not only its own lot but also the look and feel of the entire community. Proper setbacks help maintain visual harmony, safety, privacy, and a cohesive neighborhood character.

Fire Regulations - All residences must comply with all applicable provincial and municipal fire code requirements. The following additional fire separation standards apply within The Heights development.

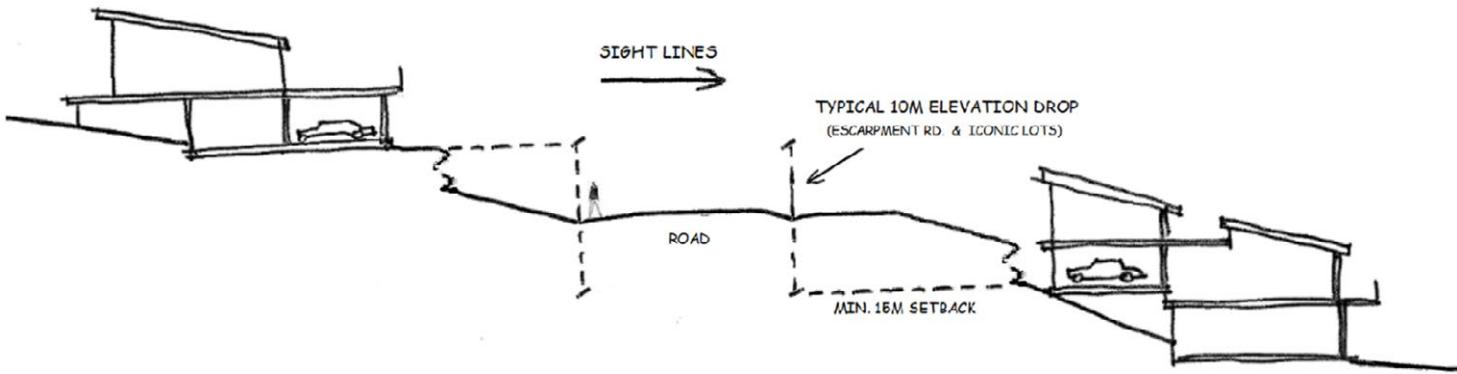
A minimum of 30.0 m shall be maintained between dwellings to promote adequate fire separation and safety. To enforce this, a minimum side yard setback of 15.0m will apply to all lots.

Notwithstanding the above, the 15.0 m side yard setback may be relaxed **only** for Lots 4 and 3 (as shown on Page 27) due to their narrow frontage configurations, under the following strict conditions:

- The relaxation may occur only if homes on Lot 1 or Lot 2 have already been constructed and exceed the 15.0 m side yard setback on the shared boundary line with Lot 4 or Lot 3, respectively.
- In such cases, the west side yard setback on Lot 4 and the east side yard setback on Lot 3 may each be reduced to 6.0 m, provided that the combined distance between any two homes is never less than 30.0 m.
- The adjoining side-yard setbacks between Lots 3 and 4 may also be reduced from 15.0 m to 6.0 m if a home is already constructed on either adjoining lot (Lot 3 or 4) and the total separation between the two homes on Lots 3 and 4 will be a minimum of 30.0 m.
- These provisions are intended to ensure flexibility in home placement while maintaining appropriate fire safety standards within the community. **For clarity, in all instances the combined distance between any two homes can never be less than 30.0 m.**

3.2 Site Views

Most of the building sites have panoramic views across the Elbow Valley and to the Rocky Mountains. Careful consideration must be given to the neighboring sightlines, the location and setting of your property, and the defined building envelopes. Different lots have different setbacks to respect neighbour sightlines, but as depicted below, the natural slope of the land offers significant elevation relief across long distances, allowing for gentle slopes and sightline preservation.



3.3 Site Design Criteria

Three basic criteria will govern allowable development on all sites. Their intent is to preserve, as much as possible, the natural open landscape areas and the panoramic views of The Heights.

a) Maximum Impervious Coverage:

To maintain natural drainage courses, there will be a limit on the amount of impervious surfaces allowed.

b) House Siting (Building and Site Development Restrictions):

The Building and Site Restrictions aim to protect the natural boundaries and sightlines within the development. Disturbance near sensitive areas should be minimized. The thoughtful placement of buildings, patios, and other structures is crucial for maintaining the natural setting of these areas.

c) Building Height and Profile:

All buildings must be scaled and designed to fit in with their surroundings and adapt to the slope of the land. Height limits will help achieve this. All building height limits listed below apply only to the primary residential dwelling. Ancillary structures (such as garages, sheds, etc.) are permitted within the extended rear yard setback, provided they do not exceed a total height of 6 meters and comply with all County Bylaws.

If there is any conflict between the following Site Design Criteria and the County of Rocky View Bylaws, the greater (i.e. stricter) of the two will take precedence. For clarity, if the County Bylaws set stricter standards or requirements than those outlined in the Site Design Criteria below, the County Bylaws must be followed.

3.4 ICONIC LOTS - Site 1 Design Criteria

The R-CRD (Site 1) Iconic Lots border the Escarpment Park development to the East of The Heights subdivision. All Iconic lots will be accessed from Escarpment Heights Lane/Terrace and are located on the East side of the Lane. All Iconic lots will endeavour to preserve the Escarpment Park neighbour's sightlines by honouring the below design criteria. The building area of the homes will have a minimum site coverage of 2,000 sq. ft., excluding garage and basement.

a) Maximum Impervious Coverage: 30%

The maximum size for all accessory buildings, excluding the main house, is 120 square meters (1,291.67 square feet) according to County of Rocky View bylaws for R-CRD.

Side yards on these lots will be at least 15 meters (49.2 feet) wide, ensuring enough space for fire protection and privacy in living areas.

Front driveways are allowed, but it's preferred to have garage doors facing sideways rather than directly toward the street whenever possible.

Houses should be positioned toward the front of the lots to create more open space in the backyards.

b) Building Height and Profile:

For two-story residences with a roof pitch greater than 4:12, the maximum rear elevation height to the eaves is 8 meters (26.3 feet), measured from the average ground level from both the high and low sides of the elevation.

The maximum roof peak height is 11 meters (36 feet), measured as a *combined* average from a line parallel to the ground along each side of the building. Second-story structures on the elevation most prominently bordering Escarpment Park must be set back a minimum of 1m from the lower story to help preserve sightlines for Escarpment Park residents.

Roof designs should help the house blend in with the surroundings by breaking up the building's scale and there shall be no gable ends on the rear elevation.

c) House Siting

The building should be appropriately sized for the lot—not too large or too small. Front setbacks can be varied to create some visual interest from the street, with buildings stepped back at different distances.

Minimum setbacks from all property lines are:

Front: 15.0 m (49.2 ft) minimum

Side: 15.0 m (49.2 ft) minimum

Rear: 18.0 m (59.1 ft) minimum

3.5 PREMIUM RIDGE LOTS - Site 2 Design Criteria

The R-CRD (Site 2) Premium Ridge Lots are the building sites that capture the best of The Heights. Premium Ridge lots are accessed from Escarpment Heights Lane/Terrace and have a West to SouthWest exposure maximizing panoramic views of the Rocky Mountains. These lots will also endeavour to preserve the sightlines of the Iconic lots by honouring the below design criteria. The building area of the homes will have a minimum site coverage of 2,000 sq. ft., excluding garage and basement.

a) Maximum Impervious Coverage: 40%

The maximum size for all accessory buildings, excluding the main house, is 120 square meters (1,291.67 square feet) according to County of Rocky View bylaws for R-CRD.

Side yards on these lots will be at least 15.0 meters (49.2 feet) wide, ensuring enough space for fire protections and privacy in living areas.

Front driveways are allowed, but it's preferred to have garage doors facing sideways rather than directly toward the street whenever possible.

Houses should be staggered and positioned toward the mid-point of the lots to improve sight lines for neighboring lots.

b) Building Height and Profile:

For two-story residences with a roof pitch greater than 4:12, the maximum height to the eaves is 9 meters (29.5 ft), measured from the average ground level on both high and low sides of the house.

The maximum roof peak height is 11 meters (36 ft), measured as a *combined* average from a line parallel to the ground along each side of the building.

Roof designs should help the house blend in with the surroundings by breaking up the building's scale.

c) House Siting

The building should be appropriately sized for the lot—not too large or too small. Front setbacks shall be varied to create some visual interest from the street, with buildings stepped back at different distances.

Minimum setbacks from all property lines are:

Front: 15.0 m (49.2 ft) minimum

Side: 15.0 m (49.2 ft) minimum

Rear: 18.0 m (59.1 ft) minimum

3.6 ESTATE LOTS - Site 3 Design Criteria

The R-CRD (Site 3) Lands are all lots that are accessed from Escarpment Heights Cove. These lots will endeavour to preserve the neighbours sightlines by honouring the below design criteria. The building area of the homes will have a minimum site coverage of 2,000 sq. ft., excluding garage and basement.

a) Maximum Impervious Coverage: 40%

The maximum size for all accessory buildings, excluding the main house, is 120 square meters (1,291.67 square feet) according to County of Rocky View bylaws for R-CRD.

Side yards on these lots will be at least 15 meters (49.2 feet) wide, ensuring enough space for fire protection and privacy in living areas.

Front driveways are allowed, but it's preferred to have garage doors facing sideways rather than directly toward the street whenever possible.

Houses should be positioned toward the front of the lots to create more open space in the backyards.

b) Building Height and Profile:

For two-story residences with a roof pitch greater than 4:12, the maximum height to the eaves is 9 meters (29.5 ft), measured from the average ground level on both high and low sides of the house.

The maximum roof peak height is 11 meters (36 ft), measured as a *combined* average from a line parallel to the ground along each side of the building.

Roof designs should help the house blend in with the surroundings by breaking up the building's scale.

c) House Siting

The building should be appropriately sized for the lot—not too large or too small. Front setbacks can be varied to create some visual interest from the street, with buildings stepped back at different distances.

Minimum setbacks from all property lines are:

Front: 15.0 m (49.2 ft) minimum

Side: 15.0 m (49.2 ft) minimum

Rear: 18.0 m (59.1 ft) minimum

3.7 Grading and Drainage

Flattening or raising existing slopes ($>0.5\text{m}$) to create building sites is prohibited. Alternatively, creative planning and slope-adaptive designs, such as stepped foundations, to create dynamic and engaging interior spaces are encouraged. Decks and patios that follow the natural slope can enhance the landscape's inherent beauty and maintain natural drainage.

Retaining walls should seamlessly integrate with the existing terrain. Lot grading should generally conform to the natural slope, and slopes steeper than 3:1 are not permitted. Retaining walls should not exceed 1.2 meters (4 feet) in height; multiple stepped walls may be used to achieve a larger elevation grade change. These walls should be constructed from materials that complement the main residence, with a preference for stone.

Any surplus fill from excavation must be integrated into the existing lot or removed from the development site.

Overland drainage from the rear lots to the storm pond is encouraged. Minimize grading at the lot boundaries, particularly adjacent to public lands, to maintain their natural condition, thereby contributing to the overall storm water drainage plan.

3.8 Landscaping and Vegetation

The landscaping vision is to plant primarily native plants and trees to create a harmonious and cohesive look with the surrounding environment. This includes combining street and Public Utility Land landscaping with private residence gardens and landscaping features, contributing to an overall vegetation rich and naturally thriving surrounding.

- **Harmony and Integration:** Plant and tree selection will be guided by the overarching principle of enhancing the architectural aesthetic. Plantings will define outdoor spaces, frame captivating views, and seamlessly integrate structures into the surrounding landscape. New plantings will complement the natural beauty of the environment and elevate the appeal of the new structures.

- **Tree Placement with Purpose:** All trees planted within building sites shall be arranged in natural clusters rather than in straight rows or hedgerows. Each cluster shall be separated from the next by a minimum distance of eighteen (18) meters, shall not exceed twelve (12) meters in diameter, and shall contain no more than five (5) trees. *Within the rear yard setbacks of Iconic and Estate Lots, and the front yard setbacks of Premium Ridge Lots, no more than two (2) trees within any such cluster may be of a species expected to reach a mature height greater than fifteen (15) meters.* These requirements shall apply to all planted trees, with the exception of any trees that were planted or otherwise existing within the subdivision prior to November 1, 2025. This provision is intended to protect neighbouring sightlines and to ensure that trees are established in natural-looking groupings that contribute to visual variety within the Development.
- **Functional Beauty:** Plant materials should be chosen for their practical benefits as well as their beauty. Deciduous trees will provide shade and seasonal colour variations, while evergreens will offer wind protection and maintain interest through all seasons.
- **Front and Rear Yard Requirements:** Front yards must showcase at least 24 shrubs (minimum 600mm diameter) and four native species trees with a minimum 85mm caliper, with at least one being an evergreen. Rear yards require a minimum of six trees with an 85mm caliper, two of which should be evergreens.
- **Sustainable Landscaping Practices:** Landscape design and plant selection will prioritize minimizing the need for irrigation. Additionally, to ensure the health of both the house and the plants, no tree or shrub exceeding a mature height of three meters should be planted closer than two meters to the house. A minimum of 25% of the area not occupied by buildings or paved surfaces must be dedicated to landscaping. Shrubs should be planted in visually appealing groupings and be of substantial size for their respective species.
- **Grass Requirements:** At least 25% of open areas should be established with sod of a residential standard. Broadcast seeding should ideally cover the remaining property, including areas flanking municipal property on corner lots.
- **Respecting Natural Beauty:** Areas bordering Municipal and Public Utility lots will be maintained in their natural state whenever possible. If disruption becomes necessary, native plant restoration will be prioritized in these areas.
- **Plant Quality and Timing:** All plant materials must be nursery-quality and landscaping completion should be achieved within a single growing season.

3.9 Site Features and Ancillary Structures

Outdoor living spaces that are an extension of the home are encouraged to create a seamless transition between the built and natural environments. These features may include:

- Outdoor fireplaces
- Courtyards, terraces, and decks
- Greenhouses, arbors, and trellises
- Play structures
- Barbecue and soft-seating areas
- Sport courts and pools
- Privacy walls and fencing

These structures should blend well with the natural features of the land and the primary residence, becoming a seamless part of the property. It's encouraged to have ground-level terraces or patios instead of large, raised decks, and use of stone or brick that match the surroundings is recommended. Any outdoor structures must get approval from the Architectural Coordinator.

Other structures like gazebos, arbors, trellises, fire pits, and storage cabins should match the style of the house and be placed at the back of the lot, following height rules. Regardless of when they're built, these structures need approval from the Architectural Coordinator.

3.10 Fencing and Privacy Walls

There is to be no fencing constructed in the front yard of any lot. Fencing must be approved by the Architectural Coordinator prior to installation.

3.11 Hot Tubs and Spas

Hot tubs and spas may be approved at the discretion of the Architectural Coordinator. They should be located so as not to be visible from roadways, and be screened by fencing or plants.

3.12 Exterior Lighting & Security

In order to minimize light pollution and support the Springbank Dark Sky initiative, floodlighting and strong uplighting will not be allowed. A soft or low voltage light using white or frosted bulbs in metal fixtures is acceptable. Colored bulbs or lens covers and plastic fixtures are not acceptable. The use of exterior security systems is permissible unless they alter the exterior architectural design of the home. The use of any security equipment must be consistent with the architectural theme of the house.

3.13 Garbage Containment

Garbage containers, including compost and recycle bins, shall not be stored on the street, except 12 hours prior to pick-up. All garbage must be kept in an enclosure within the residence.

Compost bins/boxes are permitted in rear and side yards, but must be covered.

No junk, wrecked or partially wrecked vehicles, salvage materials, or goods for sale are allowed to be stored on any lot or the adjoining roads or streets. No waste or refuse is allowed to be stored on any lot, permanently or temporarily.

Each lot shall have a suitable garbage container on site throughout construction for construction material refuse.

3.14 Panels and Meters

Exterior panels and meters shall be indicated on plans and shall be located so as to be as unobtrusive as possible from the street and from adjoining properties.

Satellite dishes may be allowed, but must be less than 18 inches in diameter and mounted in areas not visible from the street.

Solar applications are allowed when integrated into the surface in which they are mounted. Add-on type applications are not allowed.

4. Construction Management

4.1 Excavation Materials

Builders must ensure that all excavation material is kept within the confines of their lot and that appropriate erosion control measures are employed. Any remaining material, track marks or spillage left on the road or neighboring lots must be removed immediately or the Developer will arrange for its removal and invoice the Builder or lot owner for expenses.

Loading and hauling of excess excavated material, backfill material or topsoil is the responsibility of the Builder. Lot Grading must be in compliance with the approved plot plan and the County of Rocky View Bylaws involving grading.

4.2 Site Management

During the construction phase, it's the Builders' responsibility to install temporary fencing and appropriate warning signage to restrict public access from all construction areas and ensure adherence to safety protocols. The Developer bears no responsibility for the safety of individuals on the premises.

Builders are also required to provide portable restroom facilities, maintaining cleanliness with proper waste disposal, and bearing the costs associated with site cleanup. Lot owners are required to manage and remove noxious weeds, even prior to commencing construction activities.

5. Plan Approval Process

5.1 Introduction

These Design Guidelines do not supersede the County of Rocky View Land Use Bylaw requirements. It is essential to refer to the County of Rocky View Land Use Bylaw, obtain the appropriate permits, and ensure property inspections are conducted by the County of Rocky View Building Inspectors.

In addition to the review and approval process by the County of Rocky View, The Heights has implemented its own design review process. This is to ensure all buildings align with the Developer's objectives and that any future improvements or renovations remain consistent with the original vision of the development.

5.2 Review

The future value of residences in this area relies on maintaining a charming and high-quality appearance. This is achieved by ensuring that homes complement each other and contribute positively to the overall appeal of the neighborhood. While each home can have its unique features, it's important that they harmonize with neighboring homes in terms of location, size, exterior aesthetics, and colour palette to create a unified and pleasing visual impression.

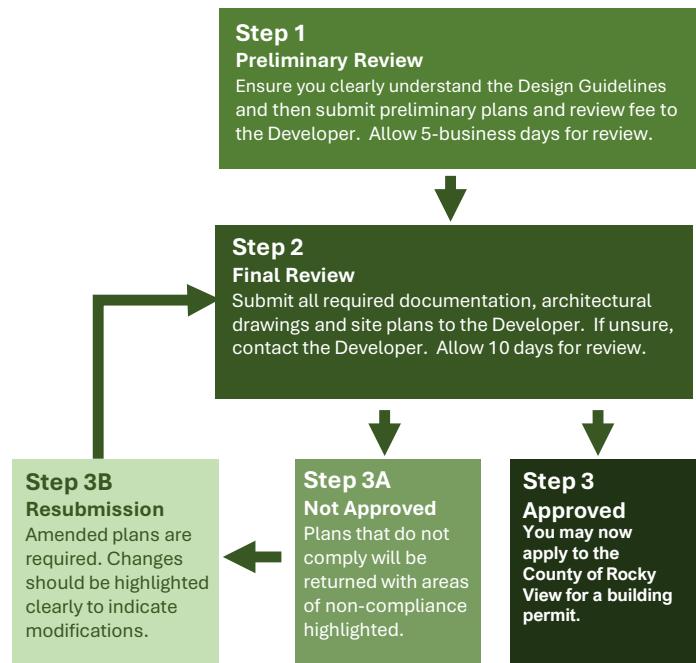
Builders are required to obtain Final Architectural Approval from the Developer or its designated Architectural Coordinator before commencing construction. This approval process involves a Preliminary Review, a Final Review, and post-construction inspections to ensure that the homes align with the approved plans and adhere to the Design Guidelines set for the area.

Builders will receive the Design Guidelines along with a comprehensive site plan detailing property lines, setback requirements, services, corner elevations, lot dimensions, lowest top of footings, and grading. Before purchasing a lot, Builders and lot owners are strongly encouraged to thoroughly review all Design Guidelines provided.

All home plans must comply with the Design Guidelines. No construction or improvements can commence on any lot until:

- a) Plans and exterior material specifications are submitted in triplicate.
- b) These plans are officially approved in writing by the Developer or their authorized representative, who holds the authority to either approve or reject them.

These plans should encompass elevations, siting, dimensions, colour schemes, and a detailed breakdown of all materials to be utilized, as outlined in paragraphs 5.5 and 5.6 below.



Design Approval Process

5.3 Compliance Deposit

Before commencing construction, a Builder's Compliance deposit of \$25,000 will be required prior to the issuance of a grading permit (grade slip). This permit allows you to begin preparing the land for construction.

Your deposit will be refunded in two installments:

- Initial Refund: \$15,000 will be returned upon confirmation of adherence to all Design Guidelines outlined in this document, and upon receipt of your final occupancy certificate issued by the County of Rocky View.
- Final Refund: The remaining \$10,000 will be disbursed following the County of Rocky View's complete subdivision approval, contingent upon the absence of any damage to common elements like roads, culverts or road approaches bordering or on your property. Should any such damage be identified, the repair cost will be deducted from the final deposit portion.

5.4 Landscape Rebate

If your home is completed within 24 months of the Closing Date and landscaping is finished within 12 months of receiving your certificate of occupancy—while adhering to your approved plans, colour scheme, and all other Developer and County approvals—you will be eligible for a Landscape Rebate of up to \$5,000, as outlined in your contract of sale. This rebate will match your spending on native trees and shrubs, dollar for dollar, up to a maximum of \$5,000, and must be used in accordance with the approved landscaping guidelines for your lot.

You can apply for your rebate by completing the attached form and emailing it to the Developer.

5.5 Preliminary Approval

For preliminary approval the Builder must submit the following to the Architectural Coordinator for review:

- Professional Site plan (1/4" = 1'-0" Scale) indicating location of building(s) and grades;
- Floor plan sketches showing all exterior dimensions;
- All elevations of the house;
- Materials and colour preferences
- Sketches of all exterior amenities, including fencing, retaining walls, and outdoor living spaces

The submitted plans will be reviewed and returned with comments. Modifications may be required to better align with the Architectural Guidelines, enhance lot characteristics or comply with neighbor commitments. Builders must review these comments and adjust their plans accordingly before final approval.

5.6 Final Approval

The Builder shall submit two printed copies and a PDF copy of working drawings of the following to the Architectural Coordinator for final approval:

- 1) Complete architectural drawings, including:
 - a) Floor plans, scaled at 1/4" or 3/16" = 1'-0";
 - b) Foundation plan(s);
 - c) Cross sections - complete with all dimensions from subfloors to footings and subfloors to front, floor joist depth and rear grades;
 - d) All elevations - complete with all exterior materials clearly noted and detailed.
- 2) Plot Plan - drawn at 1:200 scale, including:
 - a) All legal information;
 - b) All house dimensions, lot dimensions, setbacks and side yard information;
 - c) All grade information, subfloor levels and footing elevations.
- 3) A completed Final Approval Form including materials, colours and colour samples.

NOTE: Incomplete submission package will be returned without review.

The Architectural Coordinator will review the submission and either approve, modify, or reject it based on compliance with the Design Guidelines. The Coordinator will retain the original application form and one set of approved plans for future reference, and return the second set to the Builder. Before proceeding with construction, the Builder must check the approved plans, plot plans, and final approval form.

NOTE: Responsibility of compliance remains with Builder and Lot Owner

The Developer's participation in approval of the plans is solely focused on the aesthetics of the final project and does not constitute or imply any liability on their part for any issues arising from the plans or construction. The responsibility for compliance with all relevant codes, regulations, and standards remains with the Builder and Lot Owner.

5.7 Pre-Construction Inspection

Before assuming ownership of your lot, a joint inspection with a Developer representative is highly recommended to assess the condition of the common elements such as adjoining roads, culverts and road approaches. This proactive step helps to mitigate potential liability for any pre-existing damage.

Design or other approvals may depend on completing this pre-construction review.

5.8 Grade Slip

The Developer will review and approve or modify the design grades and prepare the grade slip. The grade slip will be released by the Developer only after the Builder's Compliance deposit is submitted and after the submittal and approval of the Architectural Approval Form, the Pre-Construction Inspection Form, and the Client Acknowledgment.

5.9 Building Permit

Before applying for a building permit from the County of Rocky View, Builders must get site plan and design approval from the Developer's Architectural Coordinator.

The building permit application must include the signed Architectural Approval Form and the grade slip.

Any changes to the approved exterior must be submitted to the Architectural Coordinator for written approval before construction.

5.10 Footing Check - Grade

The Builder is responsible for constructing grade elevations based on the approved plot plan from the Architectural Coordinator. The Builder should survey and verify the footing elevation to ensure accuracy and make any necessary grade adjustments.

Prior to pouring the footings the Builder must retain an Engineering Consultant or licensed Surveyor to check the elevations of the footing forms. The consultants must confirm to the Builder and the Developer that the elevations meet that of the approved building grade form before concrete is poured.

5.11 Footing Check - Soil

The Builder is responsible to confirm that the site-specific soil bearing capacity for the proposed structure is consistent with the general development's geotechnical report.

Prior to pouring the footings the Builder must retain an Engineering Consultant to confirm the load bearing suitability of the proposed structure.

NOTE: It is the responsibility of the Builder and/or Lot Owner to confirm that the site-specific soil conditions do not vary from the general site's geotechnical report. You can request a copy of the general site's geotechnical report by contacting the Developer.

The Developer's participation in the Final Inspection does not constitute or imply any liability on their part for any issues arising from the plans or construction. The responsibility for compliance with all relevant codes, regulations, and standards remains with the Builder and Lot Owner. The issuance of approval, grade slips or other information by the Developer or its representatives in no way absolves the Builder from complying with all applicable regulations, requirements and physical site conditions.

5.12 General Information

The covenants and agreements outlined herein are intended to be enduring and binding for all current and future property owners, including their successors and assigns. Express notice is hereby given to ensure the ongoing applicability of these covenants and agreements to the land and its various parts.

In the event of a breach of any of the terms and specifications mentioned above, the Developer or its authorized agent reserves the right, though not obligated, to access any lot and rectify the breach at the expense of the lot owner responsible for the breach. The owner must promptly reimburse the Developer for all costs incurred in remedying the breach, which will be treated as a charge against the owner's lot and may be collected through legal means if necessary.

It is important to note that nothing herein should be construed as holding the Developer, its agents, or employees liable in case of non-compliance with or non-fulfillment of any terms, restrictions, or benefits specified herein. The Developer and its representatives bear no responsibility for the performance or non-performance of their rights and obligations outlined in this document.

These restrictions and agreements complement and do not override the Bylaws of the County of Rocky View, any existing development agreements between the County of Rocky View and the Developer, or the legal obligations imposed by statute or common law on lot owners and occupants. All parties are expected to adhere to these rules and regulations.

References to the Developer in this Design Guideline also apply to its successors and assigns, including without restriction any current or future Home Owners Association that presides over the Heights subdivision in Rocky View County, Alberta. All annual fees, special assessments, fines, penalties, interest, and enforcement or remedial costs levied by the Developer or Home Owners Association shall constitute a charge against the Lot and are recoverable from the Lot Owner. The Home Owners Association may secure any unpaid amounts by registering a caveat or taking any other legal steps available to it.

5.13 Development Team

The Developer is:

Manhattan Developments & Design Inc.

19 Spring Valley Close SW
Calgary, AB, T3H4V1

Contact: Bill Rafih
Phone: (403) 803.1141 email:
bill@manhattangroup.ca

The Engineering Consultant is:

Jubilee Engineering

3702 Edmonton Trail NE
Calgary, AB, T2E 3P4

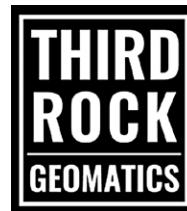
Contact: David.Vatcher, P.Eng.
Phone: (403) 276.1001
email:
David.Vatcher@jubileeengineering.com

The Legal Surveyor is:

Third Rock Geomatics

104- 1240 Kensington Road NW
Calgary, AB, T2N 3P7

Contact: Mark Sutter, B.Sc. A.L.S.,
Phone: (587) 333-4413
email: mark@thirdrockgeomatics.com



APPENDIX “A”

SAMPLE ARCHITECTURAL RATIONALE

MODERN TUDOR

123 Escarpment Heights Lane

A Blend of Tradition and Innovation. The modern Tudor style offers a fresh take on the classic English Tudor aesthetic, seamlessly merging its historical charm with contemporary functionality.

- **Tudor Influences:** Retains key elements like steeply pitched gabled roofs, exposed timber and a mix of brick, stone and stucco.
- **Modern Touches:** Simplifies the overall look with cleaner lines, larger windows and incorporation of modern materials like steel or glass accents.
- **Cozy Comfort:** Preserves the sense of warmth and inviting ambiance. Exposed beams and dark wood accents can be featured alongside modern elements.
- **Openness:** May incorporate a more open floor plan than traditional Tudors, allowing for better flow and light.
- **Modern Finishes:** Kitchens and bathrooms feature contemporary fixtures and finishes, striking a balance between traditional and modern aesthetics.

Overall feel:

- Timeless elegance with a modern twist
- Blend of traditional and contemporary materials
- Spacious and light-filled, with a nod to history



APPENDIX “A”

SAMPLE ARCHITECTURAL RATIONALE

FRENCH COUNTRY

123 ESCARPMENT HEIGHTS LANE

Imagine a charming farmhouse nestled in the French countryside. That's the essence of French Country architecture. It blends rustic elements with elegance, creating a warm and inviting feel.

Key features:

- **Exterior:** Stone, stucco, or brick exteriors with rough textures. Symmetrical facade with a central entryway. Steeper pitched roofs with dormer windows. Shutters on windows, often painted in a contrasting colour. Patios and terraces for outdoor living.
- **Interior:** Exposed beams and natural wood elements. Stone or tile flooring. Warm colour palettes with pops of colour. Wrought iron accents. Spacious kitchens with farmhouse sinks.

Overall feel:

- Inviting and comfortable
- Connection to nature
- Timeless elegance



APPENDIX “A”

SAMPLE ARCHITECTURAL RATIONALE

ROCKY MOUNTAIN MODERN

126 ESCARPMENT HEIGHTS LANE

Think cozy cabin meets modern mountain retreat.

The overall feel is one of comfort, connection to nature, and a nod to the rugged beauty of the Rocky Mountains.

Rustic Charm with Modern Touches Inspired by the Landscape:

- **Natural Materials:** Wood, stone, and natural finishes are prominent, reflecting the surrounding environment.
- **Rugged Durability:** Built to withstand harsh winters and mountain elements.
- **Large Windows:** Capture breathtaking mountain views and natural light.
- **Open Floor Plans:** Maximize the feeling of spaciousness and connection to nature.
- **Craftsman Elements:** Exposed beams, stone fireplaces, and other features reminiscent of the Arts and Crafts movement.
- **Modern Accents:** Clean lines, large windows, and open floor plans creating a contemporary feel.
- **Energy Efficiency:** Focused on sustainable materials and practices



APPENDIX “A”

SAMPLE ARCHITECTURAL RATIONALE

MODERN CONTEMPORARY

123 ESCARPMENT HEIGHTS LANE

Modern contemporary blends the clean lines and functionality of modern design with the ever-evolving trends of the present day. It's a style that feels fresh, innovative, and prioritizes comfort and light.

Key characteristics:

- **Open Floor Plans:** Living areas flow seamlessly together, creating a sense of spaciousness, encouraging interaction.
- **Abundant Natural Light:** Large windows bathe the interior in natural light, blurring the lines between indoors and outdoors.
- **Neutral Colour Palettes:** Grays, soft whites, and beiges offer a clean and calming backdrop for statement pieces.
- **Minimalist Aesthetic:** Clean lines, uncluttered spaces, and a focus on function define the overall look.
- **High-Quality Materials:** Natural materials like wood, stone, and concrete are often used alongside sleek finishes like stainless steel and glass.
- **Sustainability Focus:** Incorporates eco-friendly elements like energy-efficient appliances and recycled materials.



Overall feel:

- Light, airy, and spacious
- Sophisticated yet comfortable
- Up-to-date and reflecting current design trends

APPENDIX "B"

THE HEIGHTS SITE PLAN

